

DOWNTOWN SPECIFIC PLAN UPDATE AND FORM-BASED CODE



City of Soledad | Planning Commission | May 3, 2012

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planning economics natural resources

raimi+
associates
the nature of community

SARGENT
TOWN PLANNING

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HANNA-BRUNETT

Jacobson & Wack

SWCA
ENVIRONMENTAL CONSULTANTS

MEETING OVERVIEW

Introductions

Presentation

- Project Overview

- Vision and Downtown Character

- Development Code

Discussion

INTRODUCTIONS

Consultant Team

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Project Lead

- Project Management
- Planning
- Economics & Financial Feasibility
- Public Outreach Program

Nelson \ Nygaard

Mobility and
Parking

**Hanna-
Brunetti**

Infrastructur
e and Public
Facilities
Planning

**Jacobson &
Wack**

Coordination
between
Specific Plan
and Zoning
Code Update

SWCA

CEQA
Documents

**Sargent Town
Planning**

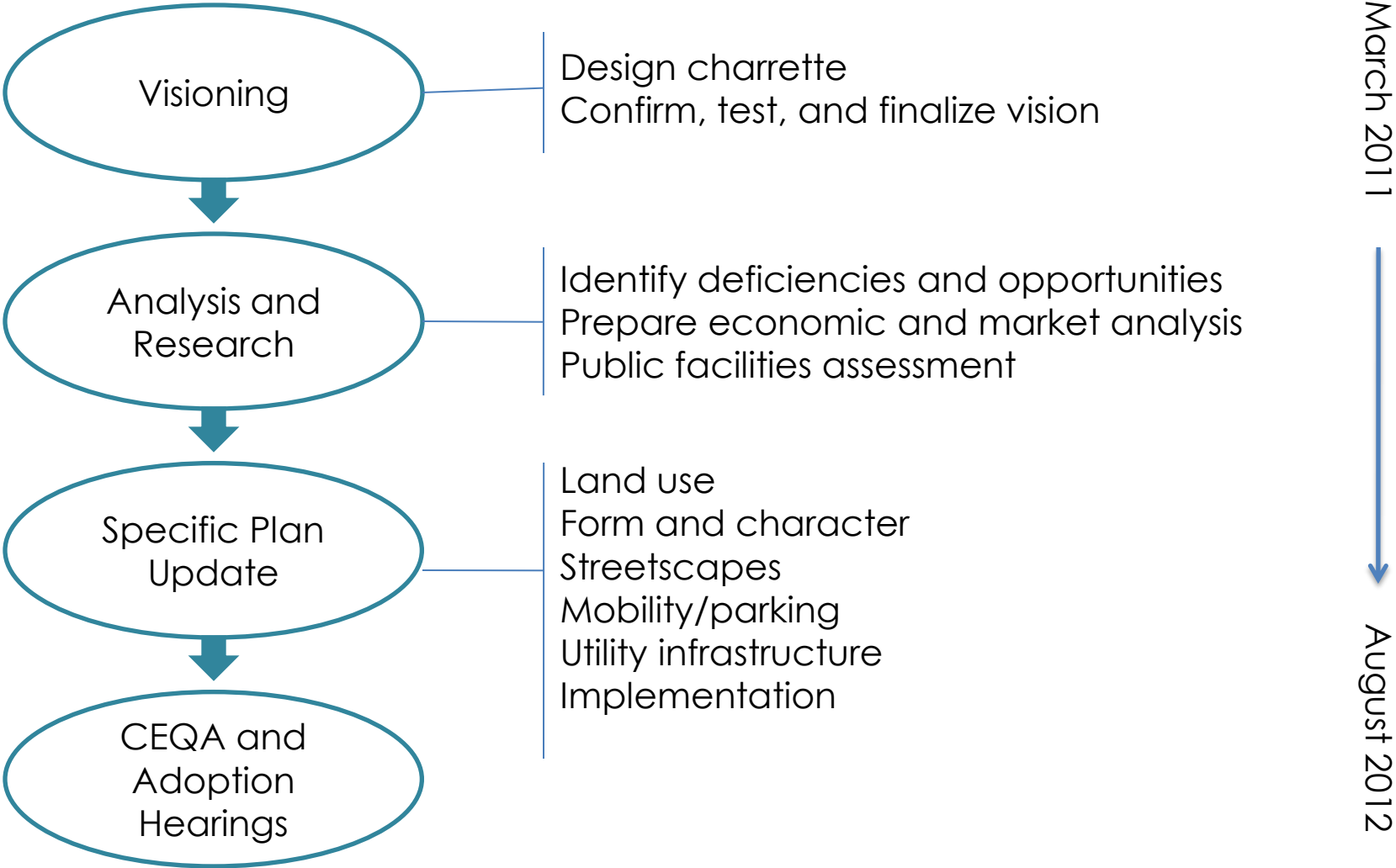
Urban Design and
Architecture

**Raimi +
Associates**

Form-Based Code

PROJECT OVERVIEW

Process and Schedule



PROJECT OVERVIEW

Community Outreach

STAKEHOLDER INTERVIEWS

- March, 2011
- Over 25 interviews

DESIGN CHARRETTE

- May 2-4, 2011
- Lunch presentations
- Open studio sessions
- Evening workshops

ECONOMIC FORUM

- October 19, 2011
- Over 20 participants



City of Soledad DOWNTOWN SPECIFIC PLAN

PUBLIC REVIEW DRAFT | APRIL 5, 2012

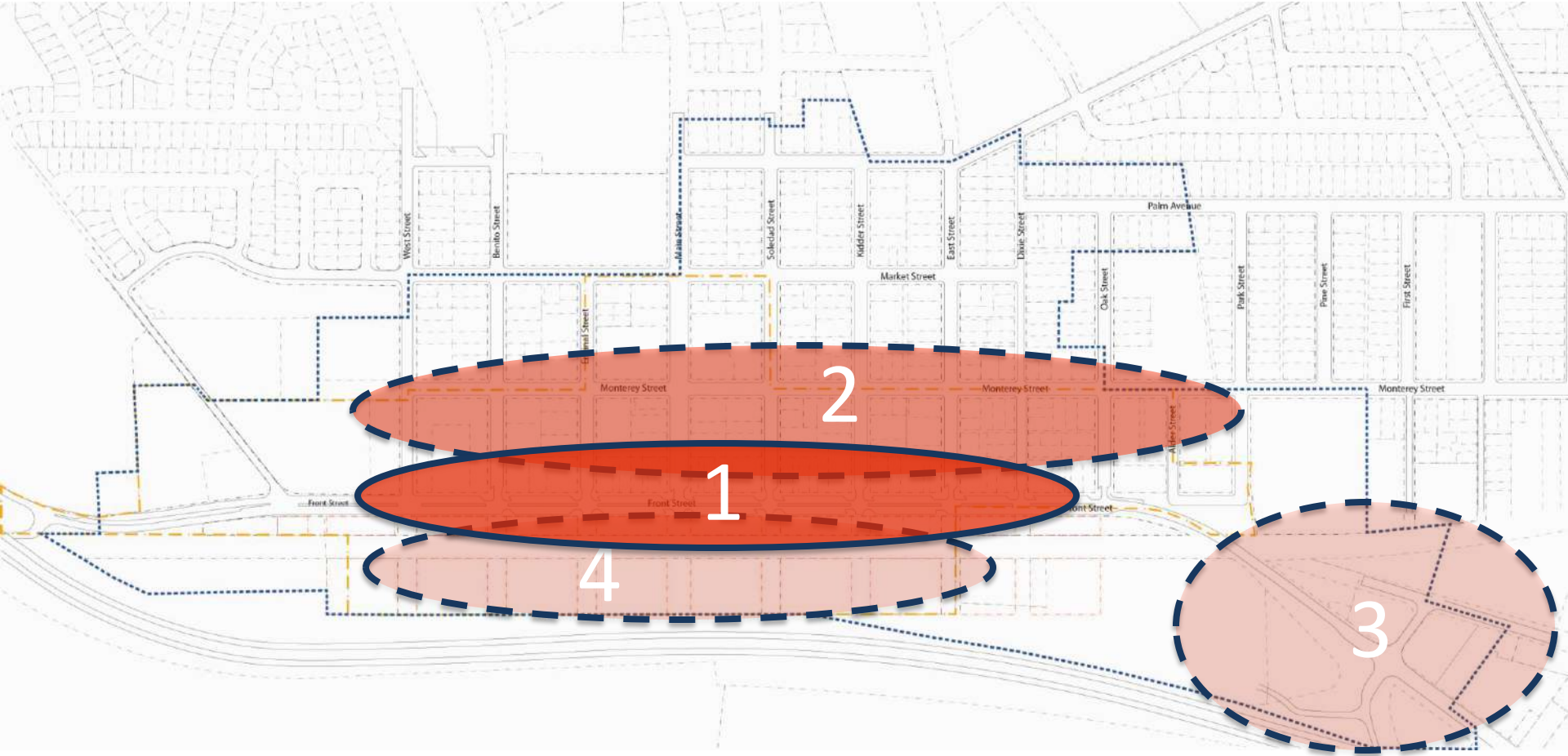


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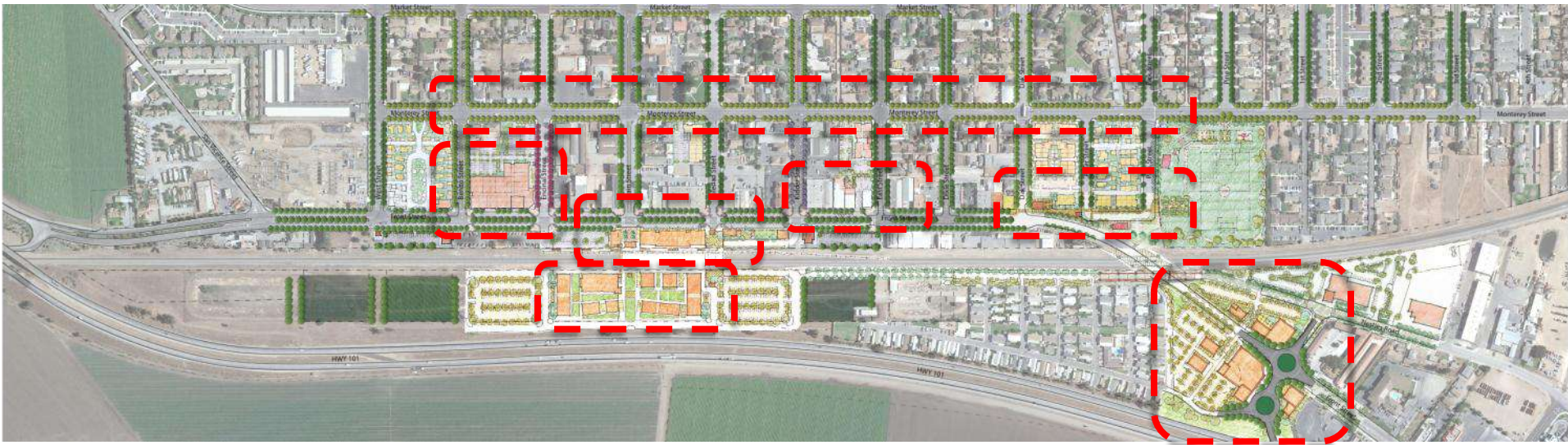
PROJECT OVERVIEW

Plan Area



DOWNTOWN VISION & SPECIFIC PLAN UPDATE

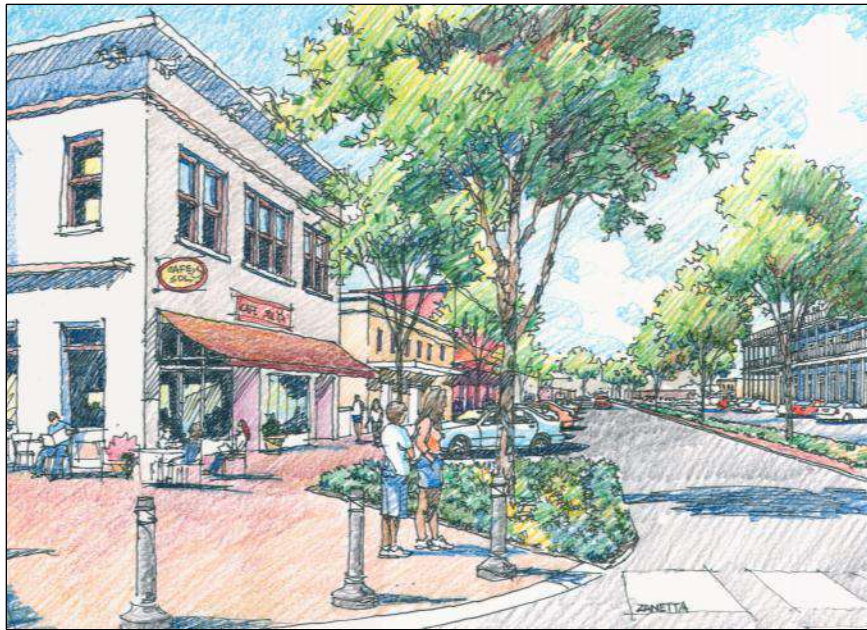
CITY OF SOLEDAD



VISION AND DOWNTOWN CHARACTER



VISION AND DOWNTOWN CHARACTER



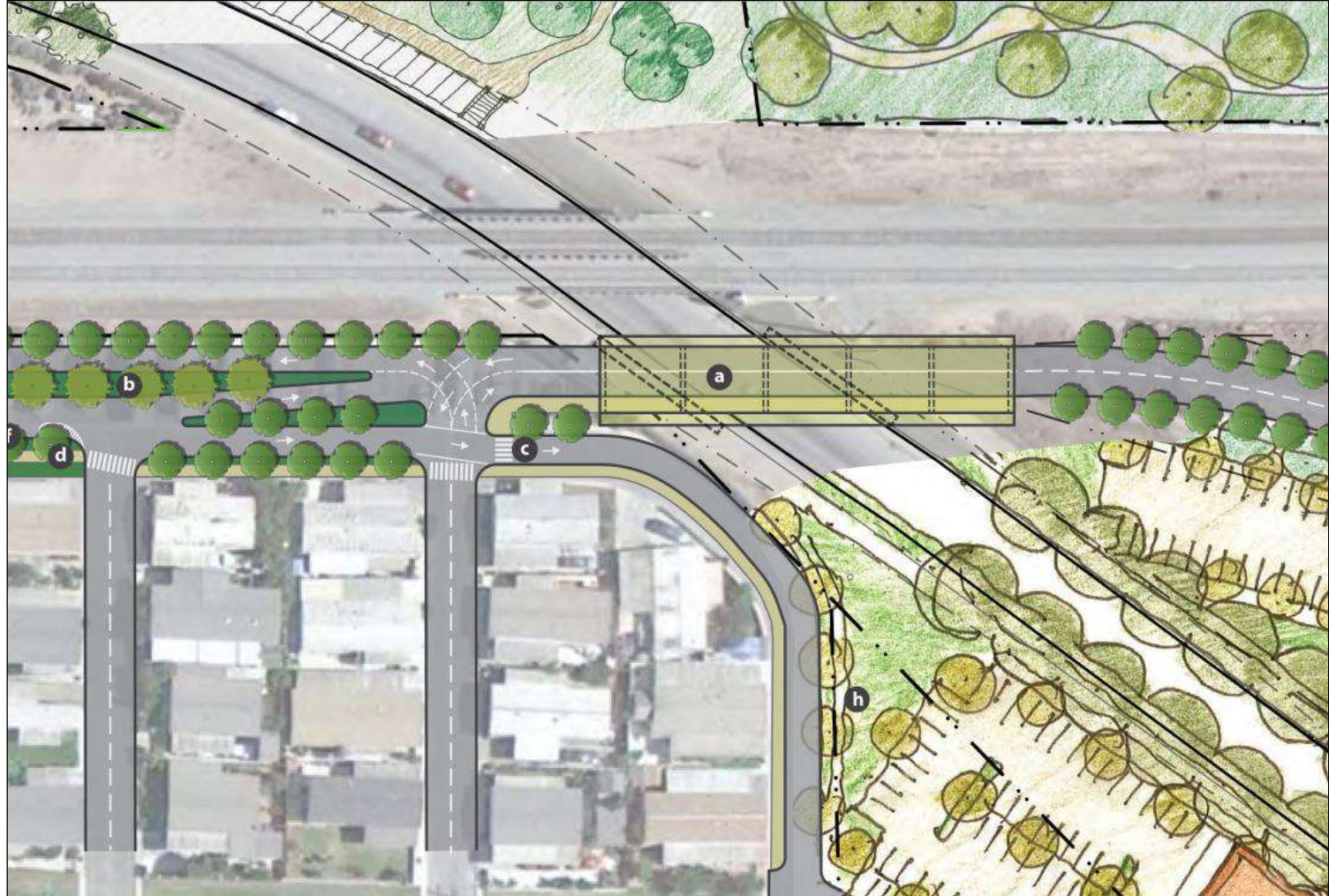
VISION AND DOWNTOWN CHARACTER



South Gateway



Railroad Property Access



Railroad Property Access & Gateway



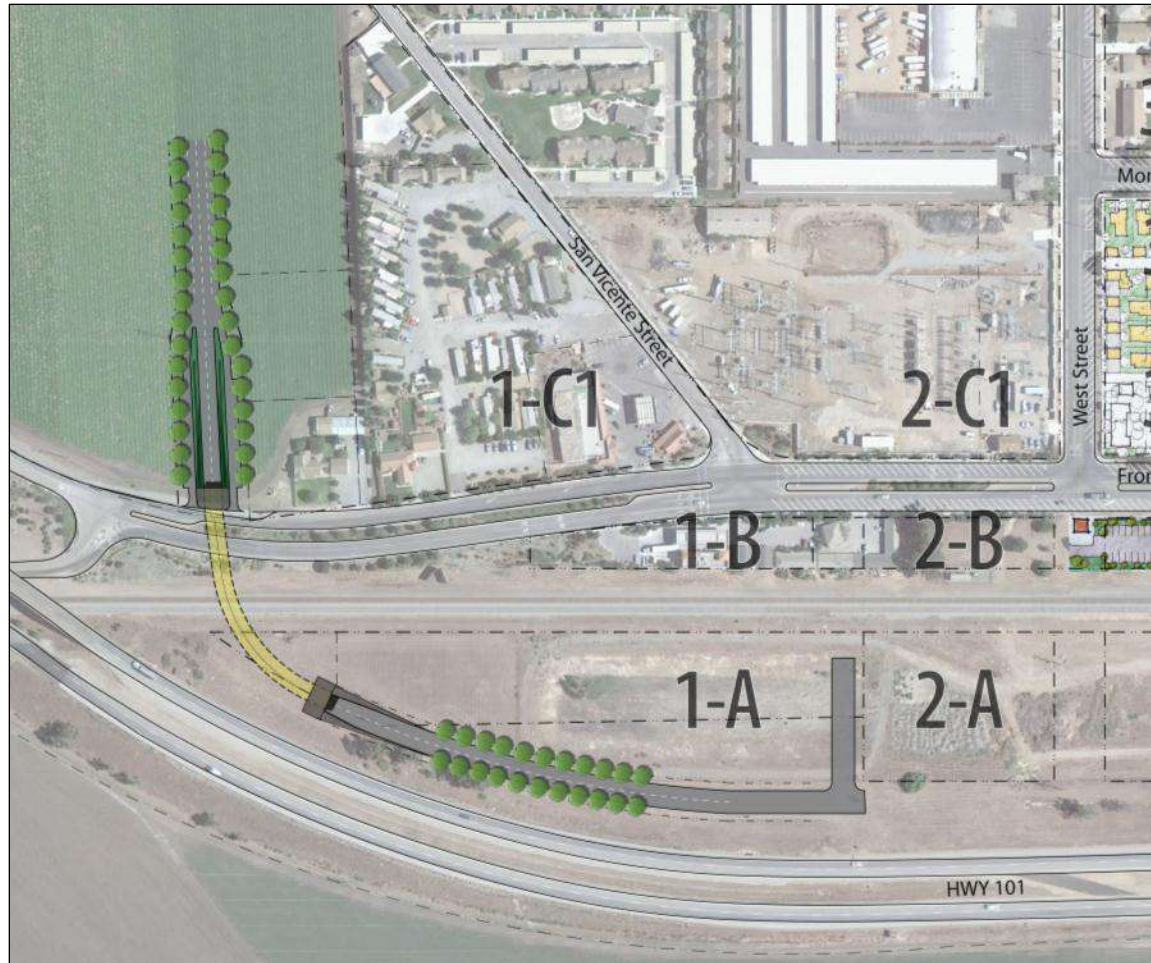
Railroad Property Access



Railroad Property Access



Railroad Property Access



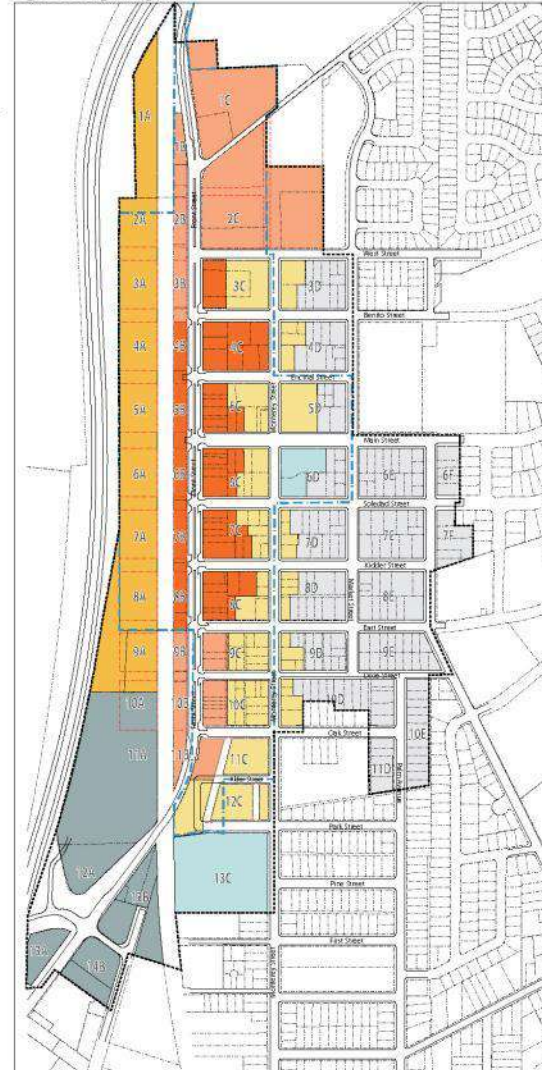


Key to Figure 2.1

- Downtown Core Zone
- Downtown Edge Zone
- Monterey Street Zone
- Railroad Corridor Zone
- Gateway Zone
- Public Facility Zone (See PF Zone - SMC 17.34 - for requirements)
- Old Town Neighborhood Area (See Specific Plan for policy direction and R1 zone - SMC 17.10 - for requirements)
- Specific Plan Boundary
- 12 Reference to Block
- Intended Street (see Fig 8.1 for requirements)

See Table 2 for standards

Figure 2.1 Regulating Plan



2.50 Requirements by Zone

In support of the purpose intent and intended physical environment for each zone, Table 2 identifies the allowed buildings, frontages, and signage types in each zone.

- Block-Form Buildings.** These are buildings that are larger than houses and intended for a wide variety of land use activities. These buildings tend to occupy use most of their lot and can occupy large portions of a block in some cases. See Tables 4A - 4D.
- House-Form Buildings.** These are buildings that are the size of houses and intended for primarily residential activities with some non-residential activities as allowed by Tables 2A - 2E. These buildings are either single or multiple dwelling buildings that always have the form and size of houses that are compatible with the neighborhood. See Tables 4E - 4J.
- Stories and Height.** Where partial numbers are shown for a building (e.g., 2.5), this identifies that the upper most story is to be allowed at a lower coverage rate than the lower stories such as an occupied attic or smaller footprint than the story below. Building height is specified in Table 2 and is expressed in feet to the highest eave on the building, not counting the roof in the overall height dimension.

NOTES FOR TABLE 2

- NOT ALLOWED ON FRONT STREET
- ALLOWED WHEN INTEGRAL TO PATIO
- ALLOWED WHEN WITHIN 75 FEET OF PATRIE COORNER
- ALLOWED ONLY ON MONTEREY STREET
- IN GWZ-01E, MAX 2 STORIES FOR HOTELS

TABLE 2. SUMMARY OF ZONES

INTENT AND PHYSICAL CHARACTER

2A - DT CORE (DTC)

The DTC zone is applied to areas north and south of the Downtown Core to provide a transition between the more intense areas of the Downtown Core and adjacent neighborhoods.



2B - DT EDGE (DTE)

The DTE zone is applied to areas north and south of the Downtown Core to provide a transition between the more intense areas of the Downtown Core and adjacent neighborhoods.



2C - MONTEREY STREET (MS)

The MS zone is applied to areas along Monterey Street and adjacent side streets to serve as a transition between the lower intensity neighborhoods to the east and the Downtown.



2D - RR CORRIDOR (RR)

The RR zone is applied to areas west of the railroad that bisect the Downtown to provide area for expansion and to accommodate large-format buildings that benefit the Downtown.



2E - GATEWAY (GW)

The GW zone is applied to areas near and surrounding the Front Street exit off U.S. Highway 101 to provide area for high-way-oriented commercial uses and services.



BUILDINGS (SEE SECTION 4.0 FOR ALL REQUIREMENTS)		
BLOCK- FORM TYPES	MAX. STORIES	REQUIREMENTS
A. LINED BUILDING	4	SEE TABLE 4A
B. FLEX BUILDING	4	SEE TABLE 4B
C. FHEB	2	SEE TABLE 4C
D. ROWHOUSE T	2.5	SEE TABLE 4D
HOUSE- FORM TYPES	MAX. STORIES	REQUIREMENTS
E. ROWHOUSE T	NOT ALLOWED	
F. COURTYARD BUILDING	2.5	SEE TABLE 4E
G. BUNGALOW COURT	2.5	SEE TABLE 4G
H. MANSION APARTMENT	2.5	SEE TABLE 4H
I. DUPLEX, TRIPLEX, QUADPLEX	NOT ALLOWED	
J. HOUSE	NOT ALLOWED	

FRONTAGES (SEE SECTION 5.0 FOR ALL REQUIREMENTS)		
URBAN TYPES	ALLOWED	REQUIREMENTS
A. GALLERY (2 - STORY)	YB	SEE TABLE 5A
B. GALLERY (1 - STORY)	YB	SEE TABLE 5B
C. SHOPFRONT	YB	SEE TABLE 5C
D. PORCH	YB	SEE TABLE 5D
E. DOOR YARD	YES (1)	SEE TABLE 5E
F. WALL YARD	YES (1)	SEE TABLE 5F
SUB- URBAN TYPES	ALLOWED	REQUIREMENTS
G. STOOP	YES (1)	SEE TABLE 5G
H. PORCH	YES (1)	SEE TABLE 5H
I. FRONT YARD	NOT ALLOWED	
J. PARKING COURT	YES (1)	SEE TABLE 5J

SIGNAGE (SEE SECTION 6.0 FOR ALL REQUIREMENTS)		
TYPE	ALLOWED	REQUIREMENTS
A. WALL	YES	SEE TABLE 6A
B. WINDOW	YES	SEE TABLE 6B
C. SIDEWALK	YES	SEE TABLE 6C
D. PROJECTING BLADE	YES	SEE TABLE 6D
E. AWNING / CANOPY	YES	SEE TABLE 6E
F. VERTICAL / PORCH	YES (1)	SEE TABLE 6F
G. MOUNTMENT	YB (2)	SEE TABLE 6G
H. ROOF	YES	SEE TABLE 6H
I. MARIQUEE	YES	SEE TABLE 6I
J. POLE	NOT ALLOWED	

MAX. STORIES	REQUIREMENTS	MAX. STORIES	REQUIREMENTS	MAX. STORIES	REQUIREMENTS	MAX. STORIES	REQUIREMENTS
2.5	SEE TABLE 4A	2 (H)	SEE TABLE 4A	2	SEE TABLE 4A	2(5)	SEE TABLE 4A
2.5	SEE TABLE 4B	2 (D)	SEE TABLE 4B	2	SEE TABLE 4B	2(5)	SEE TABLE 4B
1	SEE TABLE 4C	NOT ALLOWED		2	SEE TABLE 4C	1	SEE TABLE 4C
2.5	SEE TABLE 4D	NOT ALLOWED		2	SEE TABLE 4D	2	SEE TABLE 4D
MAX. STORIES	REQUIREMENTS	MAX. STORIES	REQUIREMENTS	MAX. STORIES	REQUIREMENTS	MAX. STORIES	REQUIREMENTS
2.5	SEE TABLE 4E	2	SEE TABLE 4E	2	SEE TABLE 4E	2	SEE TABLE 4E
2.5	SEE TABLE 4F	2.5	SEE TABLE 4F	2	SEE TABLE 4F	2	SEE TABLE 4F
2.5	SEE TABLE 4G	2	SEE TABLE 4G	NOT ALLOWED		NOT ALLOWED	
2.5	SEE TABLE 4H	2	SEE TABLE 4H	NOT ALLOWED		NOT ALLOWED	
2.5	SEE TABLE 4I	2	SEE TABLE 4I	NOT ALLOWED		NOT ALLOWED	
2.5	SEE TABLE 4J	2	SEE TABLE 4J	NOT ALLOWED		NOT ALLOWED	

ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS
NOT ALLOWED		NOT ALLOWED		NOT ALLOWED		NOT ALLOWED	
YB	SEE TABLE 5B	YB (2,4)	SEE TABLE 5B	YES	SEE TABLE 5A	NOT ALLOWED	
YB	SEE TABLE 5C	YES (2)	SEE TABLE 5C	YES	SEE TABLE 5B	YES	SEE TABLE 5B
YB	SEE TABLE 5D	YES (2)	SEE TABLE 5D	YES	SEE TABLE 5C	YES	SEE TABLE 5C
YB (1)	SEE TABLE 5E	YES	SEE TABLE 5E	YES	SEE TABLE 5D	NOT ALLOWED	
YB	SEE TABLE 5F	YB (1)	SEE TABLE 5F	NOT ALLOWED		NOT ALLOWED	
YB	SEE TABLE 5F	YB (1)	SEE TABLE 5F	YES	SEE TABLE 5F	NOT ALLOWED	
ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS
YB	SEE TABLE 5G	YES	SEE TABLE 5G	YES	SEE TABLE 5G	YES	SEE TABLE 5G
YB	SEE TABLE 5H	YES	SEE TABLE 5H	NOT ALLOWED		YES	SEE TABLE 5H
YB (1)	SEE TABLE 5I	YES	SEE TABLE 5I	NOT ALLOWED		YES	SEE TABLE 5I
YB	SEE TABLE 5J	YB (4)	SEE TABLE 5J	YES	SEE TABLE 5J	YES	SEE TABLE 5J

ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS	ALLOWED	REQUIREMENTS
YB	SEE TABLE 6A	YES	SEE TABLE 6A	YB	SEE TABLE 6A	YES	SEE TABLE 6A
YB	SEE TABLE 6B	YES	SEE TABLE 6B	YB	SEE TABLE 6B	YES	SEE TABLE 6B
YB	SEE TABLE 6C	NOT ALLOWED		YB	SEE TABLE 6C	NOT ALLOWED	
YB	SEE TABLE 6D	YES	SEE TABLE 6D	YB	SEE TABLE 6D	NOT ALLOWED	
YB	SEE TABLE 6E	YES (2)	SEE TABLE 6E	YB	SEE TABLE 6E	YES	SEE TABLE 6E
YB	SEE TABLE 6F	YES	SEE TABLE 6F	YB	SEE TABLE 6F	NOT ALLOWED	
YB	SEE TABLE 6G	YES (2)	SEE TABLE 6G	YB	SEE TABLE 6G	YES	SEE TABLE 6G
YB	SEE TABLE 6H	NOT ALLOWED		YB	SEE TABLE 6H	NOT ALLOWED	
YB	SEE TABLE 6I	NOT ALLOWED		YB	SEE TABLE 6I	NOT ALLOWED	
YES	SEE TABLE 6I	NOT ALLOWED		NOT ALLOWED		YES	SEE TABLE 6I

2.A DOWNTOWN CORE

A. INTENT AND PURPOSE

The Downtown Core zone is applied to the central blocks of downtown intended to be the shopping, entertainment and civic core of Soledad.

B. INTENDED PHYSICAL CHARACTER: BUILDINGS, FRONTAGES, SIGNAGE

Buildings are primarily block-form with some existing house-form buildings and new house-form buildings along side streets. Buildings are up to 3.5 stories, mixed and single use, with the widest variety and most intense commercial uses and services. Buildings are near or at the sidewalk to spatially define the streetscape. Massing is toward the front of buildings to spatially define the wide streets, provide service area in the rear, and promote compatibility with neighboring properties.



Mixed-use single, two- and three-story buildings at or near the sidewalk with non-residential uses on Front Street.



Sidewalks provide room for view of merchandises in shopfronts, displays and street furniture as well as for pedestrian comfort.

C. STREETScape / PUBLIC REALM AND OPEN SPACE

The streetscape is in support of high pedestrian activity and consists of a range of permanent shade property-frontages such as galleries as well as shopfronts with wide awnings and shade trees. Wide sidewalks accommodate outdoor dining while providing for comfortable strolling and easy view of retail merchandise.

Open spaces are urban and provide community gathering space in support of high pedestrian activity and civic events.

D. LAND USE ACTIVITY

The Downtown Core zone contains a vibrant range of land use activity such as: Retail, Restaurants, Entertainment, Grocery, Bakery / Deli, Office, Personal Services, Lodging, Transit Station, Residential above or behind non-residential activity.



Transit station with 3-story mixed-use building such as retail with offices or dining above, or a hotel, or educational classrooms or offices.

E. PARKING

Parking for non-residential uses is provided through a shared system of on-street and off-street spaces in strategically located public parking spaces. Residential parking is provided on the site of its building.

TABLE 2A.1 ALLOWED LAND USES AND REQUIRED PARKING: DOWNTOWN CORE

ENTERTAINMENT AND RECREATION	Adult Entertainment		
	Cinema	CUP	1400
	Dancing (non-night club)	MUP	1200
	Dancing (night club)	CUP	1200
	Health/Fitness	P	1400
	Indoor/Outdoor Recreation (not card rooms)	CUP	1400
	Live Music / Amplified Music, Internet Cafe, Game Arcade	MUP	1400
	Meeting Facility (place of public assembly, place of religious worship, club, lodge)	MUP	1400
	Performing Arts	MUP	1400
	Drive-Through		
RESTAURANT AND FOOD	Pub/Bar	CUP	1400
	Restaurant (may include alcohol sales)	MUP	1400
	Sidewalk Dining	P	0
RETAIL	Wine Tasting / Brew Pub	MUP	1400
	Alcohol Sales (off-site consumption)	CUP	0
	Artisan / Craft MFG (w/ on-site sales)	P	1400
	Gallery, Art Exhibition	P	1400
	General (includes bakery, catering, dry cleaning, hardware, pet supplies, pharmacy)	P	1400
	Grocery	P	1400
	Nursery (plants, landscaping)		
	Retail <10,000 square feet	P	1400
	Retail >10,000 square feet	MUP	1400
	Secondhand Stores	P	1400
SERVICES	Bail Bonds		
	Bakery (wholesale)	P	1400
	Call Center / Telemarketing	P (1)	1400
	Clothing / Garment Rental	P	1400
	Care Facility for the Elderly (RCFE)	P	1/4
	Day Care: Adult Day-Care	P	1/4
	Day Care: Small Child House Day-Care	P	1/4
	Day Care: Large Child House Day-Care	MUP	1/4
	Day Care Center: Child Day-Care-Center	MUP	1/4
	Day Spa / Massage Therapy	P	1400
Drive-Through			
SERVICES	Emergency Shelter		
	Funeral Home		
	Hospitals	P	1/4
	Hotel / Motel	MUP	1/2
	Iron (B&B)	MUP	1/2
	Laundromat	P	1400
	Medical Services: doctor/dentist	P	1400
	Medical Services: urgent care, clinic	P	1400
	Pet Grooming / Veterinary Clinic / Animal Boarding & Day Care	P	1400
	Printing / Photocopying	P	1600
Repair (non-vehicular)	P	1600	
SERVICES	Salon (tanning, aromatherapy, hair styling)	P	1400
	School (dance, music, trade, community college)	P	1400

OFFICE AND CIVIC	Banks / Financial	P	1400
	General (includes library, museum, professional, RSD, social services)	P	1400
	Government	P	1400
RESIDENTIAL	Transit Station	P (2)	25
	Ground Floor	P (1)	1/Unit
	Group home less than 7 clients	P (1)	1/Unit
	Group home more than 7 clients		
	Single-Family Residential		
	Multi-Family Residential	MUP	1.5 / unit
	Mobile Home Park		
INDUSTRIAL	SRO		
	Upper Floors	P	1/Unit
	Agriculture		
	Manufacturing (perishable)		
	Manufacturing (non-perishable)	P (1,3)	1400
	Personal Storage Facility		
	Power / Electrical Substation		
MOTOR VEHICLE RELATED	Public Corporation Yard		
	Recycling Center		
	Reverse Vending Machine	P	0
	Small Collection Facility		
	Car Wash		
	Gas Station (non-commercial vehicles)		
	Gas Station (commercial vehicles)		
COMMUNICATIONS	Repair (motor vehicles)		
	Motor Vehicle Sales, new and used	MUP (4)	1400
	Motor Vehicle Equipment Rentals	P	1/10
OTHER	Communications Tower / Facility	P (5)	0
	Broadcasting/Recording Studio	MUP	1400
OTHER	Temporary Use as identified by City	TUP	0
	Parks and Plazas	MUP	0

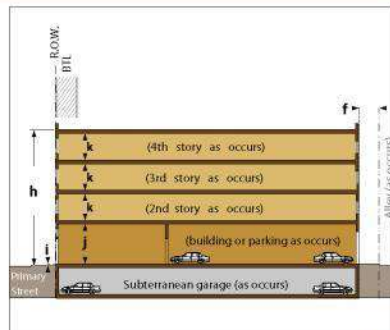
Key to Table 2A.1

P	Permitted Use
MUP	Conditional Use - Minor Use Permit Required
CUP	Conditional Use - Conditional Use Permit Required
TUP	Conditional Use - Temporary Use Permit Required
Blank	Use not allowed
(1)	Use not allowed on Front Street ground floor
(2)	Primary station
(3)	Less than 10,000 square feet
(4)	No new parking lot display on Front Street
(5)	Per Health Standards in Section 3.20P

DOWNTOWN CORE: TABLE 2A.2 DEVELOPMENT STANDARDS



Property Line: - - - - -
 Buildable Area: [hatched box]
 BTL Build-To Layer: [hatched box]
 See standards below: a ->



Property Line: - - - - -
 Ground Floor (see standards below): [yellow box]
 Upper Floors (see standards below): [orange box]
 BTL Build-To Layer: [hatched box]
 See standards below: a ->

A. Building Placement and Type

- Buildings shall be located on the lot per above diagram.
- Building facades along streets shall be located within the build-to-layer per the above diagram.
- Building facades shall extend along the frontages of the lot as required in Subsection "C", Frontages and Encroachments.

B. Building Configuration

- Buildings shall comply with the standards below, measured in stories and feet.
- Buildings shall be designed in compliance with the applicable requirements below and per the requirements for the selected architectural style in Section 7.0.

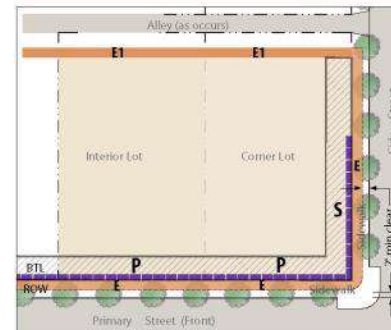
REQUIREMENT	STANDARDS	MIN.	MAX.
a	Lot Width (shall comply w/ bldg type min)	20'	300'
b	Lot Depth (shall comply w/ bldg type min)	75'	n.a.
c	Front Setback ⁴	0'	10'
d	Side Street Setback ⁴	0'	10'
e	Side Setback ⁵	0'	n.a.
f	Rear Setback ⁶	10'	n.a.
g'	Building Dimensions ⁷	no min.	100 ft

CONFIGURATION	STANDARDS	MIN.	MAX.
h	Building Height in Stories	1	4 ⁸
h	Building Height in Feet to highest eave	20' ⁸	50' ⁸
i	Ground Floor Level: non-residential ⁹	0'	4'
i	Ground Floor Level: residential ⁹	2'	6'
j	Ground Floor Height ¹⁰	12' ⁹	none
k	Upper Story Height	10'	none

⁴ In compliance with selected frontage type.
⁵ Fire Code - building protection per local fire/safety code.
⁶ Where an alley provides vehicular access, minimum setback is 5'.
⁷ Individual volumes up to this size may be provided that each volume is offset from the other by a minimum 5 ft plane-break and a minimum 8 ft height difference.

⁸ Architectural elements such as roofs, parapets, finials, are allowed up to 55 feet, as approved by the City.
⁹ Measured vertically from average sidewalk grade along frontage and in compliance with ADA requirements.
¹⁰ Minimum if not historic building.

TABLE 2A.2 DEVELOPMENT STANDARDS: DOWNTOWN CORE

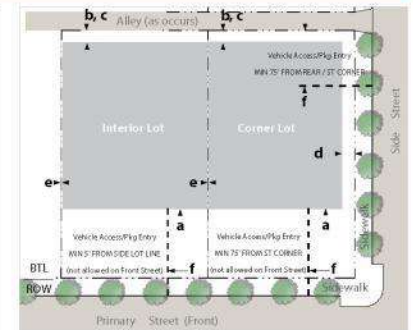


Property Line: - - - - -
 Frontage Required (see "C" for reqmts): [purple box]
 Encroachment Area (see "C" for reqmts): E, E1
 Primary Frontage: P
 Secondary Frontage: S

C. Frontages and Encroachments

- Using only the allowed frontage types, buildings shall incorporate one or multiple frontage types with facades extending along frontage lines as required below.
- Buildings may incorporate multiple frontage types, as allowed by Section 5.0, subject to design review.
- Building elements may encroach into setbacks as identified.
- Landscape shall be provided along frontages per the applicable frontage type requirements in Section 5.0.

STANDARDS	PERCENT OF GROUND FLOOR FACADE REQUIRED TO EXTEND ALONG FRONTAGE LINE
FRONTAGE LOCATION	
P	Along Primary Street
S	Along Side Street
E	Allowed Frontages encroaching on Public R.O.W.
MIN.	
P	80 beginning at street corner
S	65 beginning at street corner
E	Allowed Frontages encroaching on Public R.O.W.
Gallery (1 or 2)	
Shopfront	See frontage standards in Section 5.0 for requirements
Allowed Frontages not encroaching on Public R.O.W.	
Forecourt	
Walled Yard (on side streets only)	See frontage standards in Section 5.0 for requirements
Sloop	
E1	Encroachment along rear of lot
	3' max.



Property Line: - - - - -
 Allowed Parking Area: [grey box]
 See standards below: a ->

D. Parking and Services

- Parking and above-ground utilities shall be located on the lot as shown in the above diagram. To the extent possible, utilities shall be underground and/or in alleys.
- Parking / service areas shall not be accessed from primary street unless an alley or side street are not present.
- Parking entries shall be 20' max. wide, designed as integral, decorative components of the building facade.

STANDARDS	MIN.	SCREENING, NOTES
PARKING LOCATION		
a	Front Setback	50 ft By the building
b	Rear Setback to Alley	5 ft By the building, or min. 2' tall wall or hedge when within 10 feet of side street.
c	Rear Setback no Alley	10 ft Min. 5' tall wall or fence.
d	Side Street Setback	5 ft Min. 2' to 4' tall wall or vine hedge, or walled yard frontage type
e	Side Setback	0 ft Min. 5' tall wall or fence.
f	Parking Entry	Corner lot: min. 75' from street corner Interior lot: within 5' of either side when side street or alley are not present.

TABLE 4A. LINED BUILDING STANDARDS

A. Description of type. A combined building that consists of two basic components: an exterior building(s) that conceals an interior, large scale building such as a parking garage, movie theater, or "big box" store. The exterior building(s) is designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. The interior building may also be designed for those uses or for a single use.

B. Building Site Standards.

1. Each building shall be located on a building site that allows the Lined Building type.
2. Each building site shall measure at least 125 150 feet by 125 150 feet.

C. Building Size and Massing Standards.

1. Each building shall be located on its site per in compliance with the requirements of Section 2.0 and the building and parking placement requirements of the zone.
2. Exterior lined buildings shall be at least 30 feet in depth to conceal the interior building (e.g., parking garage, big box retail, theater) except in the following situations:
 - pedestrian entries (up to 20 feet wide)
 - along alleys or other service drives
 - on side streets, for parking garages up to 130 linear feet when at least 30 feet from the a primary on-side street
3. Buildings may be composed of one to four-story volumes as allowed by the zone and per the following:
 - The interior building shall be at least 75 feet from Monterey Street and 40 60 feet from Front Street
 - The interior building shall not exceed two may be up to three stories within 150 feet of Monterey Street
4. Buildings on corner sites shall be designed with two facades of equal architectural expression.
5. Facades shall be composed of increments of 25 feet or less. Increments can be created through projecting or recessing wall surfaces, changes in



Illustrative example of Lined Building type. Individual designs may vary from example when in compliance with the applicable requirements and subject to City approval.

roofline and/or placement of piers and pilasters.

6. Facades exceeding 100 feet shall have the appearance of multiple attached buildings.
7. Facades of single-story buildings shall be at least 20 feet tall. Facade height can be achieved through parapets or false fronts.
8. The uppermost story of a parking garage shall include a decorative parapet to provide visual interest and to diminish the presence of parked vehicles.

D. Frontage standards.

1. The transition from public to private, indoor to outdoor, at the main entrance to each building shall be created by allowed frontage types for the zone per Table 5.
2. Along Front Street and side streets, retail or office space rather than service rooms shall be oriented toward the street.
3. Along Monterey Street and adjacent side streets, living rooms and kitchens rather than service rooms shall be oriented toward the street. Where retail or office is allowed, non-service space shall be oriented toward the street.

E. Primary pedestrian access standards.

1. The main entrance to ground floor suites shall be located within the facade and accessed directly from the street.
2. Entries to the building shall be at grade along the adjacent sidewalk.
3. Access to upper story suites or dwelling units shall be through a street level lobby and/or corridors accessed directly from the street.
4. Pedestrian access to the interior building from the public sidewalk may be through the liner building or through a paseo of up to 20 feet in width.

F. Vehicle access, parking and services standards.

1. Vehicular access shall be provided through an alley, where available. Where an alley is not present, vehicle access may be provided through a driveway from the side street. The driveway shall not exceed 20 feet in width and be located per the parking and placement standards for the zone.
 2. Parking may be provided in a single- or multiple-level garage, subterranean garage, or a combination of any of the above.
 3. Parking spaces and access driveways shall be located per in compliance with the parking and placement standards for the zone.
 4. Where present, entrances to subterranean parking shall be located to the side or rear of the lot. When the building occupies most or all of a block, such access shall be located toward the middle of the block.
 5. Off-street parking spaces shall be provided as required by the zone Tables 2A-2E.
 6. Services, including all "dry" utility access, above-ground equipment, and trash containers, shall be located along the alley or side street when an alley is not present.
- G. Open space and landscaping standards.**
1. The size of yards is determined by the setbacks and frontage type requirements of the zone(s).
 2. When the interior building is a shared parking facility, the pedestrian access shall be through a forecourt (Table 5D) along the primary frontage or



Above: View of Lined Building type from sidewalk showing a forecourt entry to the garage with the exterior building masking the interior building. Exterior building may consist of separate volumes as shown above in compliance with zone standards.



Above: View of Lined Building type showing exterior building masking the interior building with a forecourt entry on each street frontage. Exterior building may consist of separate volumes as shown above in compliance with zone standards.

at the street corner.

3. Landscaping, when present, shall comply with the applicable frontage requirements for the zone(s).
4. Private patios may be provided in side and rear yards.
5. When housing is provided above the interior building, apply the open space requirements for the Courtyard Building (Table 4F).

H. General standards.

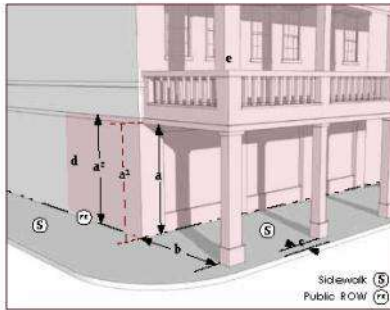
1. Buildings shall comply with the applicable requirements in Section 9.20.30

TABLE 5A. GALLERY (2-STORY) FRONTAGE STANDARDS

Example of Intended Physical Character



Gallery Example - a 2-story version with colonnade and roof on both levels which shades both the sidewalk and storefront display windows.



2-Story Gallery diagram - storefront, columns, and a shed roof deck comprise the Gallery.

A. Description

The two-story gallery frontage consists of the building facade being aligned on the front property line, and including an attached two-story cantilevered shed or a roof or deck supported by a colonnade overlapping the sidewalk. The upper portion of the Gallery may be used for open loggias or decks. Railing on top of the gallery is only required if the gallery roof is accessible as a deck. Galleries contain ground-floor storefronts, making them ideal for retail use.

Landscaping may be located at the gallery columns and if present, shall be planted on grade in vine pockets located between the columns and street curb. Planter boxes or pots may be placed in between columns to provide enclosure for such uses as cafe seating provided that adequate pedestrian access is maintained.

Signage is located within the storefront and / or hanging from the gallery ceiling, per the requirements of Section 6.0 as allowed.

B. Design Standards

- Galleries shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
- Galleries shall be large enough in dimension to allow passage along the sidewalk without impediments horizontally and vertically. The upper level may be roofed or open. When roofed, the materials, style and design shall be consistent with the building.
- Galleries shall be combined with the Shopfront type (Table 5C).
- Galleries may encroach over the sidewalk in the public right-of-way, subject to the issuance of an encroachment permit or license agreement prior to issuance of a building permit.
- Column height shall be four to five times the column width. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
- Columns shall be placed in relation to curbs to allow passage around and for passengers of cars to disembark.
- Along Front Street, walls without openings shall not exceed 10 linear feet.

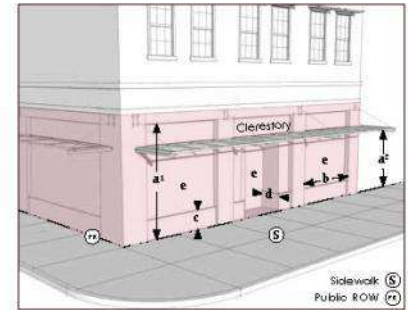
	GALLERY 2-STORY STANDARDS		STOREFRONT
	MIN.	MAX.	
a Height of 1st level from sidewalk to eave	12'	16'	12'
a² see Table 5C Shopfront type for standards			
a² Height of 2nd level from sidewalk grade	12'	16'	n/a
b Depth (facade to interior column face)	8'	16'	n/a
c Depth (exterior column face to curb)	2'	4'	n/a
d Storefront on secondary frontage	n/a		25'
e Roof deck railing (min. 36" tall, max. 48" tall)			

TABLE 5C. SHOPFRONT FRONTAGE STANDARDS

Example of Intended Physical Character



Shopfront Example - large glazing area of display windows, the bulkhead under windows, glass door, clerestory and shade awning.



Shopfront diagram - elements and dimensions combining to make the frontage.

A. Description

Shopfront is the frontage type for buildings with ground floor commercial/retail uses. The frontage is made by insertion of large openings filled with transparent windows at the ground level facades. Depending on the zone, most of all of the facade is located near or at the property line. The building entrance is at the grade of the sidewalk, and provides direct access to the commercial/retail uses on the ground floor.

The basic architectural elements comprising the storefront are large windows, doors with glass, clerestory glass, and a solid base (bulkhead). Optional elements include awnings, cantilevered shed roof or canopy, signage, lighting, and cornices. Awnings, shed roofs, or canopies may encroach into the public right-of-way and cover the sidewalk within a few feet of the curb.

Landscaping may be provided in vine pockets or planter boxes at the building facade as allowed in the applicable zoning district.

Signage may be located in a variety of places ranging from the storefront and wall to awnings. In addition, signs that project over the sidewalk as well as sidewalk signs occur as allowed per the requirements of Section 6.0.

B. Design Standards

- Shopfront frontages shall be located within the build-to-layer for the zone. Other facades may use this frontage type per applicable requirements.
- Individual storefronts shall be tall enough to provide adequate view into ground floor spaces.
- The horizontal area of the facade that is between two feet and 12 feet from the sidewalk shall contain at least 70 percent storefront glass.
- Storefront glass shall be clear (minimum 88 percent light transmission) without reflective glass frosting or dark tinting.
- Storefront windows may have clerestory windows (horizontal panels) between the storefront and second floor/top of single-story parapet. Glass in clerestory windows may be of a character to allow light while moderating it such as stained glass, glass block, painted or frosted glass.
- Storefront bulkhead shall be of material similar or complementary to main materials of the building.
- Walls without openings shall not exceed 10 linear feet on primary frontages and 25 linear feet on secondary frontages.
- Awning materials and configurations shall comply with the requirements of Section 9.0.

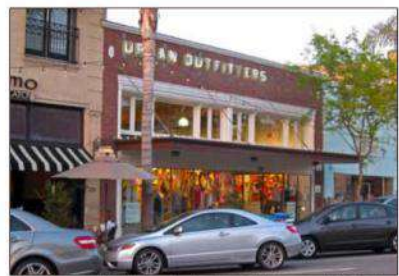
	SHOPFRONT STANDARDS		AWNING	
	Min.	Max.	Min.	Max.
a Height (clear)	12'	16'	-	-
a² Height (clear)	-	-	8'	18'
b Width of storefront bay(s)	8'	20'	-	-
c Height of bulkhead	8"	3"	-	-
d Depth of recessed entry			no min.	
e Glass area % of ground facade	70	90	n/a	n/a
f Storefront on second frontage	25'	none	-	-

TABLE 6A. WALL SIGN STANDARDS

A. Description

A sign painted or applied directly to the wall, typically above the storefront or more creatively as approved by the City. This type consists of a single externally illuminated panel or individual letters and/or logo and does not include cabinet signs. This type of sign is intended for viewing from across the street and along the sidewalk.

Examples of Intended Physical Character



Example - Individual, internally illuminated letters mounted directly on wall.



Example - Letters painted directly on wall (awning sign shown in combination)



Diagram - See Design Standards below for requirements.

B. Design Standards

1. Maximum one wall sign per business along frontage. In multi-tenant buildings, only the businesses with frontage on the sidewalk shall be allowed a wall sign, in compliance with these standards;
2. Wall signs shall be located above the storefront and at least 12 inches from any eave, edge of building or top of parapet. On multi-story buildings, wall signs shall be located either above the storefront or above the openings on the uppermost story;
3. Maximum thickness of sign as measured from the wall shall not exceed four inches;
4. Minimum 24 inches between sign and any opening or edge of a facade; and
5. If illuminated, external illumination required and shall be mounted to maintain visual integrity of the sign.

WALL SIGN STANDARDS	MIN.	MAX.
a. Height in all zones except GW zone	none	18'
a. Height in GW zone	none	30'
b. Width as % of facade width	none	60%
c. Feature allowed beyond sign area	none	6 sq ft
Allowed combinations with other sign types, subject to City approval: Awning/canopy, projecting, monument, marquee, window, yard/ porch, sidewalk.		

TABLE 6D. PROJECTING / BLADE SIGN STANDARDS

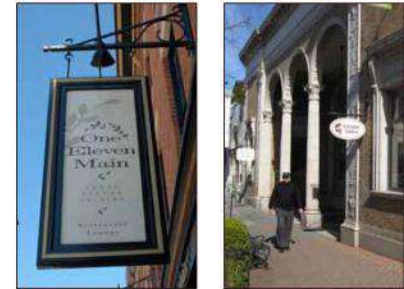
A. Description

A two-sided sign that projects over a public right-of-way such as a sidewalk, public open space or private street. This type of sign is intended for viewing at close range.

Examples of Intended Physical Character



Example - Rectangular projecting sign with painted relief and decorative bracket.



Examples - Left: Vertical rectangular shape with stylized, edge and simple, color-coordinated, bracket mounted above the storefront. Right: Oval and rectangular shaped signs for different businesses on a tall facade, mounted at pedestrian scale.

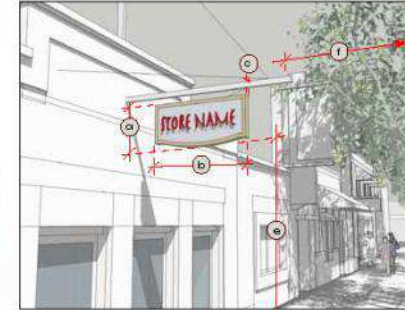


Diagram - See Design Standards below for requirements.

B. Design Standards

1. Maximum one sign per business along frontage;
2. If illuminated, external illumination shall be mounted to maintain visual integrity of the sign;
3. Supporting hardware such as brackets shall be architecturally compatible with the building facade;
4. Not allowed under an awning or horizontally within five feet of an awning or another projecting sign; and
5. Encroachment permit required if projecting within R.O.W.

PROJECTING / BLADE SIGN STANDARDS	MIN.	MAX.
a. Height	none	18'
b. Width	none	36"
c. Thickness	none	3"
d. Feature allowed beyond sign area	none	1.5 sq ft
e. Vertical clearance from adjacent sidewalk	8'	12'
f. Horizontal clearance from adjacent curb	24"	n.a.
Allowed combinations with other sign types, subject to City approval: Monument, Awning/canopy, wall, marquee, window, roof, sidewalk.		

TABLE 7A. MAIN STREET COMMERCIAL STYLE STANDARDS

Examples of Intended Architectural Character



Example Main Street Commercial style building with classic floor-to-ceiling columns, shown on the ground floor using stone or masonry.



Example Main Street Commercial style building with double-height walls with open ground floor commercial buildings.

A. Description

The Main Street Commercial Style is the generic stylistic title for a single multi-story building front on most U.S. main streets (except the terms, town squares, and plazas). The style is derived from a number of historic precedents, including Spanish Colonial Revival, Greek Revival, Victorian, Victorian Italianate, and Richardsonian Romanesque. While varying stylistic details, the basis of the style is found in a simple, rectangular building form made up of a logical, repetitive, and legible structural framework which is expressed externally by the surface placement of structural elements, doors, windows, and storefronts. Original building materials were of load-bearing masonry, but this style is easily adapted to steel, poured concrete, or wood.

The style predominate in the late nineteenth century when cities began densifying and housing was built over ground-floor storefronts. The Main Street Commercial style building stands adjacent to others of similar building identity, with little or no side setbacks, thus forming a solid enclosure for the street or plaza. This means that only one facade (or two if located on a corner) need detailed design attention.

The plane of the facade wall is articulated by expression of the structural underpinning by means of vertical pilasters or other defining columns and lines. The facade is articulated

into a base, a body, and a top, with the ground floor being the basis of the individual story. The style begins the building with a flat roof line which is capped visually by a projecting cornice or articulated parapet (protruding or recessed).

The ground floor houses commercial uses such as office or retail businesses, and therefore is quite open visually with expansive storefront windows and doors. Upper levels are punctuated with relatively smaller openings which lend their purpose for offices or apartments. Alternatively, upper floors may be expressed as double-height full stories. Substantial materials express the civic nature of the style, using brick, stone, or heavy construction plaster.

TABLE 7A. MAIN STREET COMMERCIAL STYLE STANDARDS

Examples of Intended Architectural Character



Simple wall pilaster articulation



Simple wall pilaster articulation



Simple wall pilaster articulation



Simple wall pilaster articulation



Simple wall pilaster articulation



Simple wall pilaster articulation



Simple wall pilaster articulation



Simple wall pilaster articulation

B. Massing, Heights

- A. Massing is composed of one large, simple rectangular or square volume.
- B. Massing is articulated in a tripartite fashion with base, body and top. Base and body are differentiated by changes in plane, material, color, or opening size and type. The top is articulated with a cornice line, projecting cornice, or parapet with recess or protrusion.
- C. Buildings on corner lots have **expressible facades** (regular or irregular design and detail) **on both sides**. In addition, the corner is articulated through height change, dwarfing of walls, addition of detail, or addition of building mass such as a corner tower or lantern. Such design may be depicted at the geometric corner or adjacent to it.
- D. Heights. In order to provide appropriate proportions and flexibility of building use:
 1. **Ground floor height:** 12 feet maximum height from ground finish floor to finish floor or roof above, and
 2. **Second floor height:** 10 feet maximum height from second level finish floors finish floor or roof above.

C. Walls

- A. Walls shall be of simple planes and of substantial materials such as brick, stone, plaster.
- B. The facade walls shall be articulated by expression of the structural underpinning by means of vertical pilasters or other defining columns and lines. Openings shall be recessed to express the thickness of the wall.

TABLE 7A. MAIN STREET COMMERCIAL STYLE STANDARDS

Examples of Intended Architectural Character



Openings are recessed into facade.



Openings are recessed into facade.



Openings are recessed into facade.



Openings are recessed into facade.

D. Openings

- A. Door and window openings shall be recessed. The ground floor shall contain storefront windows and doors, with upper floor openings being smaller in scale unless they are left windows.
 1. Main door recess: Minimum eight inches.
 2. Window recess: Minimum two inches.
- B. Proportions shall be vertical, square or horizontal, aligned when grouped in vertical composition together.
 1. Proportion of width to height: 1:1.4 minimum.
- C. Openings are arranged in regular, rhythmic patterns related to the underlying structural framework, grid.

E. Roof

- 1. Roof form shall be flat, with a cornice or overhang which may be stepped.
- 2. Facade shall be treated with parapet walls. Parapet coping may be of tile, concrete, stone, or metal painted metal coping shall be of heavy gauge material to prevent chipping by hardware, and shall produce straight, even shadow lines.
- 3. Roof cornice, if used, shall be fully supported by brackets, columns, or struts.
- 4. Roof decks may be accessible and used as balconies, terraces, and/or roof gardens.

TABLE 7A. MAIN STREET COMMERCIAL STYLE STANDARDS

Examples of Intended Architectural Character



Architectural elements



Architectural elements



Architectural elements



Architectural elements



Architectural elements



Architectural elements



Architectural elements



Architectural elements





F. Architectural Elements

- A. Architectural elements shall be used sparingly to accent the simple masses and surfaces of the building.
- B. The following architectural elements are typical to this style and may project beyond the building volume into setbacks, where allowed:
 1. Artrades and galleries
 2. Balconies
 3. Overhangs, canopies, awnings

G. Site, Landscape

- A. The building front directly onto the public realm of the sidewalk and street. Therefore, landscape is that of the streetscape, or, wide sidewalks with regularly spaced shade trees.
- B. In addition to the sidewalk shade trees, plantings in courtyards which face the street, in paved plazas, public or in internal courtyards are allowed.

Key to Figure 8.1

-  Reference to Block
-  Existing Street to remain
(See Table 8B for street reqmts; location may be adjusted as allowed by Table 8A)
-  Intended Street Alignment
(See Table 8B for street reqmts; location may be adjusted as allowed by Table 8A)
-  Intended Street Vacation
(Exstg R.O.W. may remain until any of the thresholds in Section 8.20B occur)

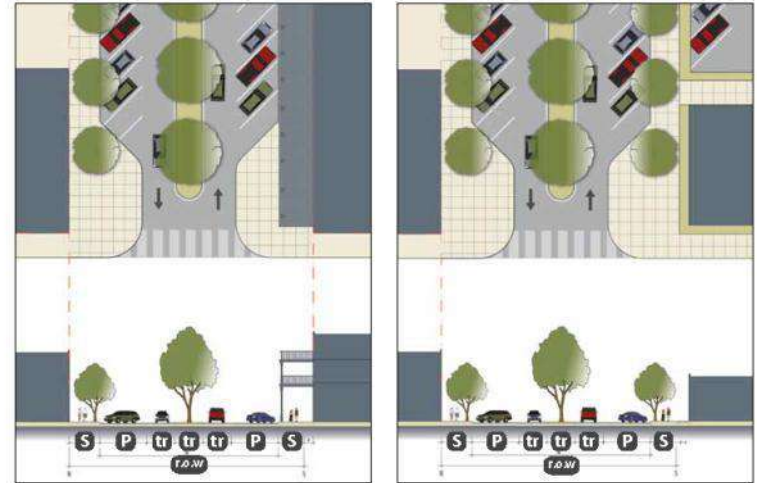
Refer to Tables 8A and 8B for standards.

Figure 8.1. Regulating Plan - Blocks and Streets



TABLE 8B. STREET STANDARDS

Table 8B identifies the allowed street types within the code boundaries and the requirements for each street type. A component of a street type identified in Table 8B may be adjusted by up to 20 percent per the applicable findings in Section 8.40 and the intent and purpose of the zone(s). Improvements to and activity within streetscapes, streets, and sidewalks shall be in compliance with the requirements of Section 9.20.20.



1. Front Street (Downtown) Option A		
COMPONENT		REQUIREMENT
S	Sidewalk	14' north side; 10' south side
Pl	Planter	4'x4' tree wells at 30' spacing b/wn parking spaces on north side
P	Parking	Diagonal each side max. 9' wide; 20' depth perpendicular to curb
tr	Travel lanes	2, one each direction; 12' wide with 12' median b/wn lanes
P.W.	Paved width	76'
R.O.W.	Right-of-Way	100'

2. Front Street (Downtown) Option B		
COMPONENT		REQUIREMENT
S	Sidewalk	14' north side; 13' south side
Pl	Planter	4'x4' tree wells at 30' spacing b/wn parking spaces
P	Parking	Diagonal each side max. 9' wide; 20' depth perpendicular to curb
tr	Travel lanes	2, one each direction; 12' wide with 12' median b/wn lanes
P.W.	Paved width	76'
R.O.W.	Right-of-Way	100'

DISCUSSION